



DEVELOPMENT PERMIT NO. DP000880

BC TRANSPORTATION AUTHORITY

Name of Owner(s) of Land (Permittee)

160 FRONT STREET

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, SECTION 1 AND PART OF THE BED OF THE NANAIMO HARBOUR, NANAIMO DISTRICT, PLAN VIP75542

PID No. 025-798-863

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations

Schedule D Rendering

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

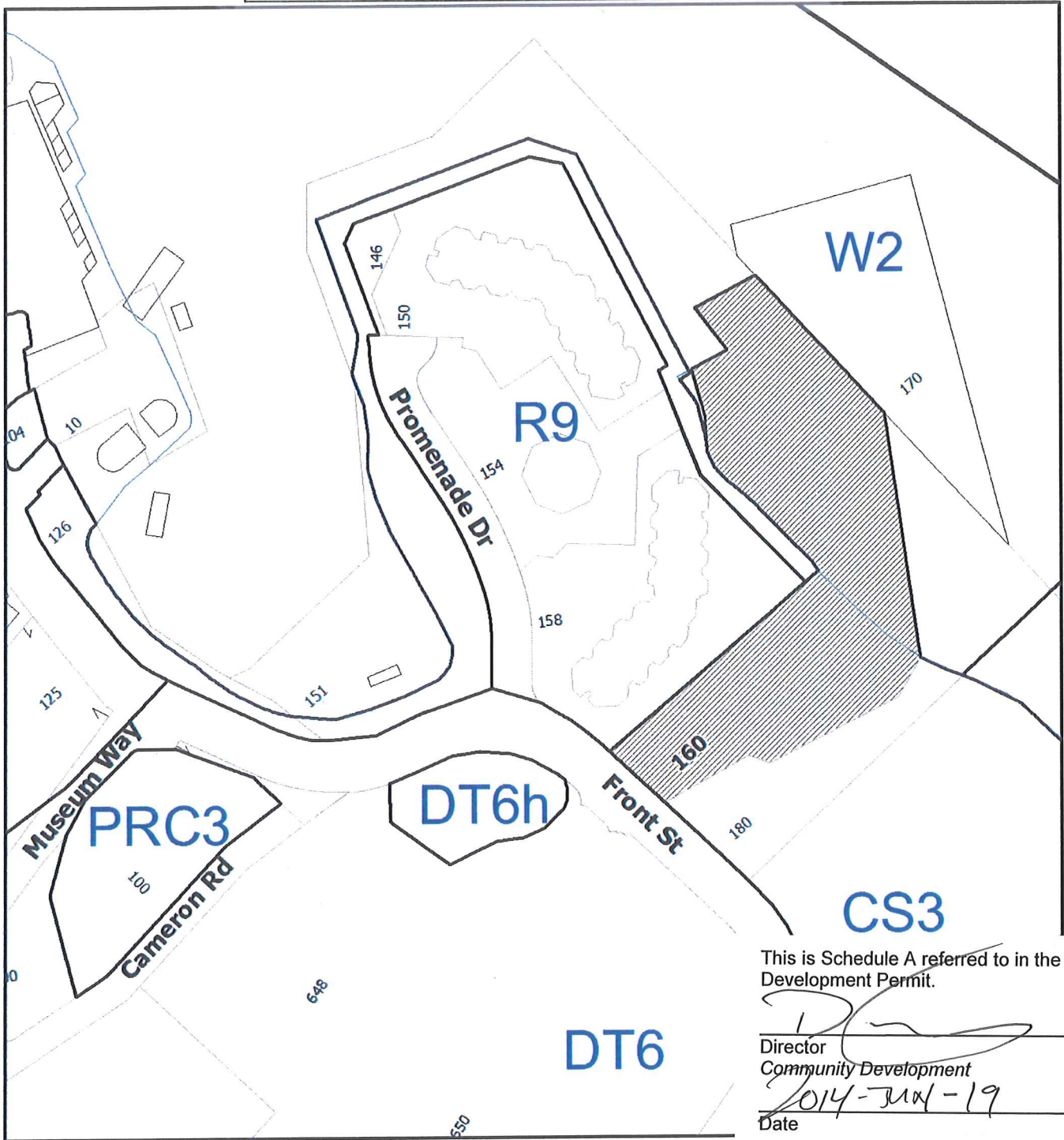
REVIEWED AND APPROVED ON

2014 - JUNE - 19
Date


D. Lindsay
Director

Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb
Prospero attachment: DP000880



This is Schedule A referred to in the Development Permit.

[Signature]
Director
Community Development
2014-JUN-19
Date

DEVELOPMENT PERMIT NO. DP000880

LOCATION PLAN

Civic: 160 Front Street
lot A, Section 1 and Part of the Bed of the
Nanaimo Harbour, Nanaimo District, Plan VIP75542

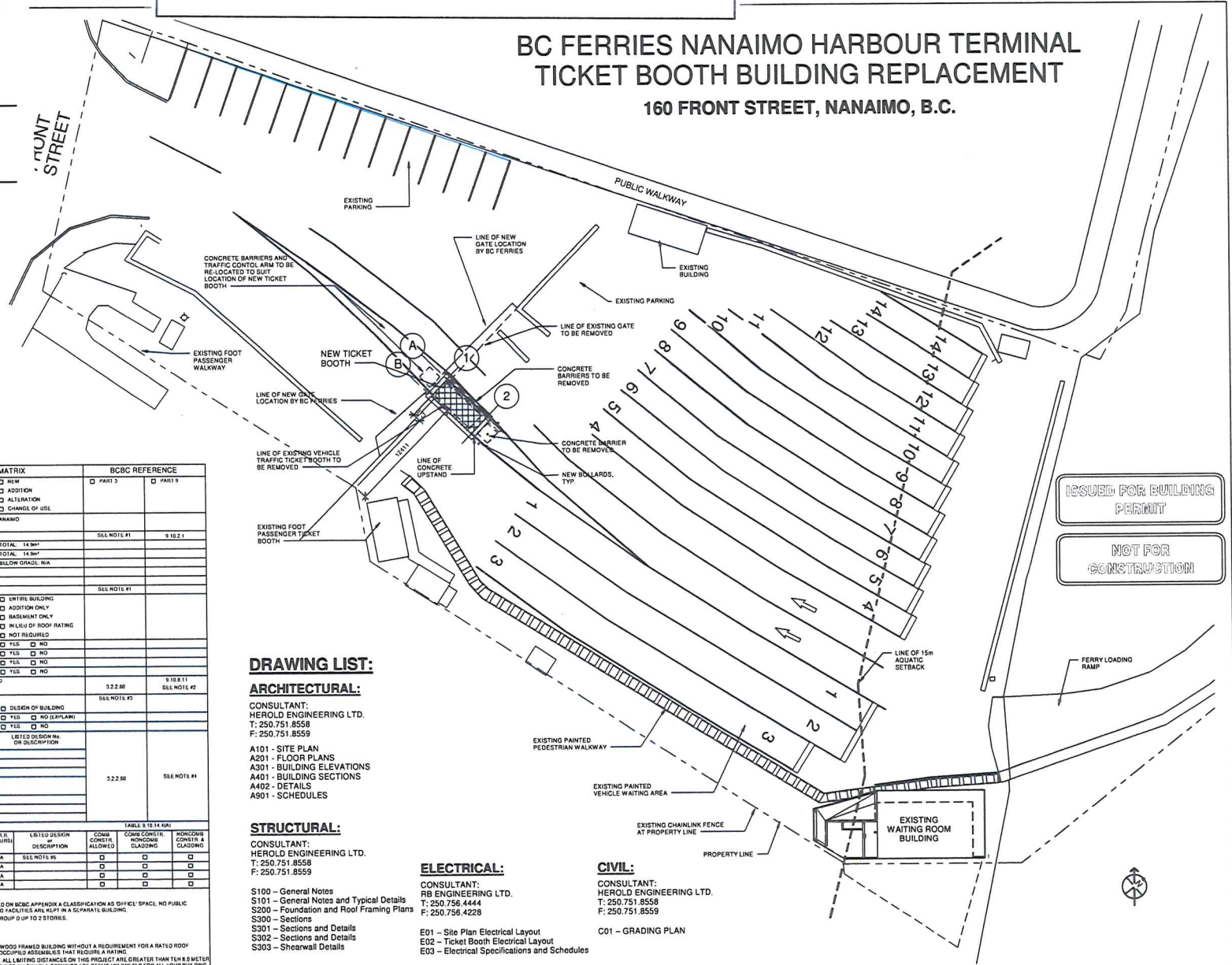


 **Subject Property**

This is Schedule B referred to in the Development Permit.

Director
Community Development
2014-JUN-19
Date

BC FERRIES NANAIMO HARBOUR TERMINAL
TICKET BOOTH BUILDING REPLACEMENT
160 FRONT STREET, NANAIMO, B.C.



ISSUED FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

ITEM	2012 - BRITISH COLUMBIA BUILDING CODE MATRIX	BCBC REFERENCE																																																				
1	PROJECT DESCRIPTION: TICKET BOOTH REPLACEMENT CIVIC ADDRESS: 160 FRONT STREET, NANAIMO, BC	NEW ADDITION ALTERATION CHANGE OF USE																																																				
2	LEGAL ADDRESS: LOT A SECTION 1 AND PART OF THE BLDG OF THE NANAIMO HARBOUR MARINE DISTRICT, PLAN VP 2548	PART 3 PART 9																																																				
3	MAJOR OCCUPANCY: D - BUSINESS AND PERSONAL SERVICES	SEE NOTE #1																																																				
4	BUILDING AREA (M ²): NEW 14,967	9 102.1																																																				
5	GROSS AREA (M ²): NEW 14,967																																																					
6	NUMBER OF STOREYS: ABOVE GRADE: 1	BELOW GRADE: N/A																																																				
7	HIGHT OF BUILDING (M): TOP OF PARAPET @ 3.54M	SEE NOTE #1																																																				
8	NUMBER OF STAIRS/ELEVATOR ROUTES: TWO MINIMUM																																																					
9	BUILDING CLASSIFICATION: D - BUSINESS AND PERSONAL SERVICES	SEE NOTE #1																																																				
10	SPRINKLER SYSTEM PROPOSED:	<input type="checkbox"/> KNIFE BUILDING <input type="checkbox"/> ADDITION ONLY <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED																																																				
11	STANDPIPE REQUIRED:	<input type="checkbox"/> YES <input type="checkbox"/> NO																																																				
12	FIRE ALARM REQUIRED:	<input type="checkbox"/> YES <input type="checkbox"/> NO																																																				
13	WATER SERVICE SUPPLY IS ABOVE GROUND:	<input type="checkbox"/> YES <input type="checkbox"/> NO																																																				
14	HIGH BUILDING:	<input type="checkbox"/> YES <input type="checkbox"/> NO																																																				
15	CONSTRUCTION: COMBUSTIBLE AND NON-COMBUSTIBLE PERMITTED	322.80																																																				
16	MEZZANINES AREA (M ²): N/A	322.80																																																				
17	TOTAL OCCUPANCY LOAD BASED ON:	SEE NOTE #2																																																				
18	BARRIER-FREE DESIGN:	<input type="checkbox"/> M - PERSON <input type="checkbox"/> DESIGN OF BUILDING																																																				
19	HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES <input type="checkbox"/> NO																																																				
20	REQUIRED FIRE RESISTANCE RATING (F.R.R.):	<table border="1"> <thead> <tr> <th>HORIZONTAL ASSEMBLIES (F.R.R. (HOURS))</th> <th>LISTED DESIGN NO. OR DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>FLOORS: 45</td> <td></td> </tr> <tr> <td>MEZZANINES: N/A</td> <td></td> </tr> <tr> <td>ROOF: N/A</td> <td></td> </tr> <tr> <td>F.R.R. OF SUPPORTING ELEMENT:</td> <td></td> </tr> <tr> <td>FLOORS: 45</td> <td></td> </tr> <tr> <td>MEZZANINES: N/A</td> <td></td> </tr> <tr> <td>ROOF: N/A</td> <td></td> </tr> </tbody> </table>	HORIZONTAL ASSEMBLIES (F.R.R. (HOURS))	LISTED DESIGN NO. OR DESCRIPTION	FLOORS: 45		MEZZANINES: N/A		ROOF: N/A		F.R.R. OF SUPPORTING ELEMENT:		FLOORS: 45		MEZZANINES: N/A		ROOF: N/A																																					
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21	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:	TABLE 9.10.14 (M)																																																				
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22	COMMENTS:																																																					
1.	OCCUPANCY OF GROUP D - BUSINESS AND PERSONAL SERVICE BASED ON BCBC APPENDIX A CLASSIFICATION AS 'OFFICE' SPACE. NO PUBLIC ACCESS IS ALLOWED WITHIN THE BUILDING. ALL PASSENGER WAITING FACILITIES ARE KEPT IN A SEPARATE BUILDING.																																																					
2.	PART 3 USED TO DETERMINE BUILDING CLASSIFICATION: 322.80 - GROUP D UP TO 2 STOREYS.																																																					
3.	OCCUPANCY CALCULATIONS BASED ON THE FOLLOWING: TICKET AGENT OFFICE SPACE: 14,967 M ² - 155 - 2 PEOPLE TOTAL																																																					
4.	PROPOSED BUILDING IS A SMALL, SINGLE STOREY SLAB ON GRADE, WOOD-FRAMED BUILDING WITHOUT A REQUIREMENT FOR A RATED ROOF ASSEMBLY. NO WALL FINISHES ARE REQUIRED, AND THERE ARE NO PROPOSED ASSEMBLIES THAT REQUIRE A RATING.																																																					
5.	BCBC TABLE 9.10.14 (M) HAS A MIN. 30 METER SQUARED CATEGORY. ALL LIGHTING DISTANCES ON THIS PROJECT ARE GREATER THAN THE 8.8 METER 1:0.51 FOR UNLIMITED ALLOWABLE OPENINGS THEREFORE ALL PROPOSED ALLOWABLE OPENINGS ARE DEEMED UNLIMITED FOR ALL FOUR BUILDING FACES. TABLE 2.2.3 (B) CONGRUOUS WITH THE STATEMENT ALLOWING UNLIMITED OPENINGS WITH A 5m LOR FOR BOTH A 15m AND 15m L.E.F.																																																					

DRAWING LIST:

ARCHITECTURAL:

CONSULTANT:
HEROLD ENGINEERING LTD.
T: 250.751.8558
F: 250.751.8559

A101 - SITE PLAN
A201 - FLOOR PLANS
A301 - BUILDING ELEVATIONS
A401 - BUILDING SECTIONS
A402 - DETAILS
A901 - SCHEDULES

STRUCTURAL:

CONSULTANT:
HEROLD ENGINEERING LTD.
T: 250.751.8558
F: 250.751.8559

ELECTRICAL:

CONSULTANT:
RE ENGINEERING LTD.
T: 250.756.4444
F: 250.756.4228

CIVIL:

CONSULTANT:
HEROLD ENGINEERING LTD.
T: 250.751.8558
F: 250.751.8559

E01 - Site Plan Electrical Layout
E02 - Ticket Booth Electrical Layout
E03 - Electrical Specifications and Schedules

C01 - GRADING PLAN

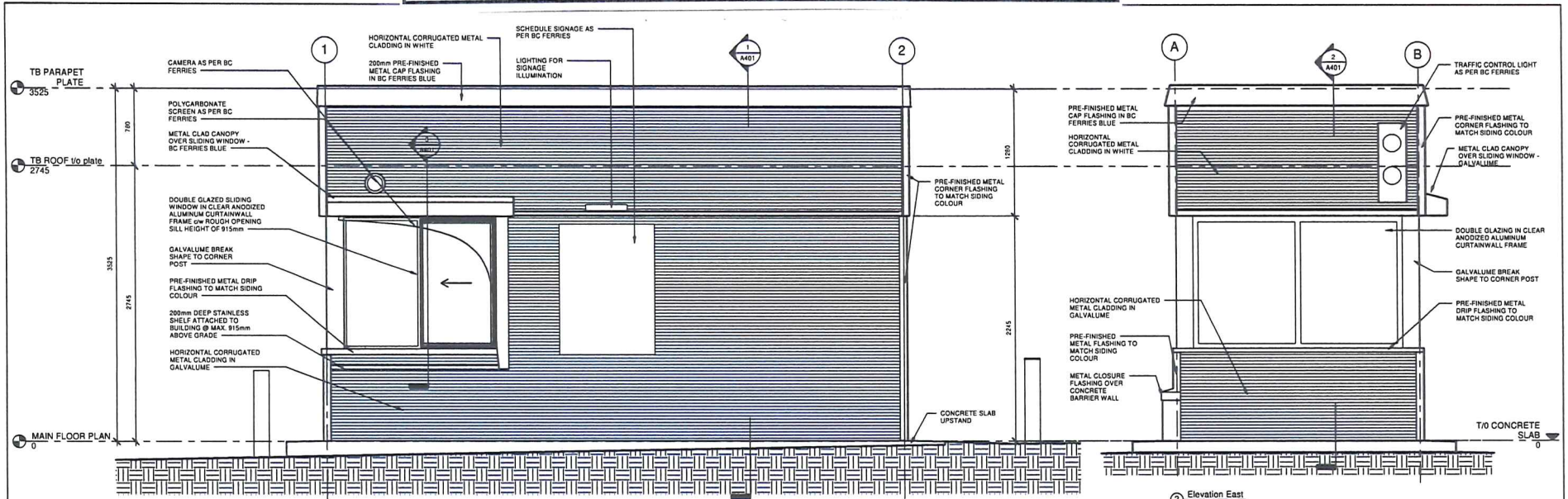
REVISIONS	DATE	BY	REVISIONS	DATE	BY
E			J		
D			I		
C	COORDINATION	2013.11.21	KAR	H	
B	CLIENT REVIEW	2013.10.29	KAR	C	BUILDING PERMIT
A	CLIENT REVIEW	2013.10.15	KAR	F	

HEROLD ENGINEERING LIMITED
CONSULTING ENGINEERS
3701 Shelton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 | Fax: 250-751-8559
mail@heroldengineering.com
HEROLD PROJECT #: 0050-095

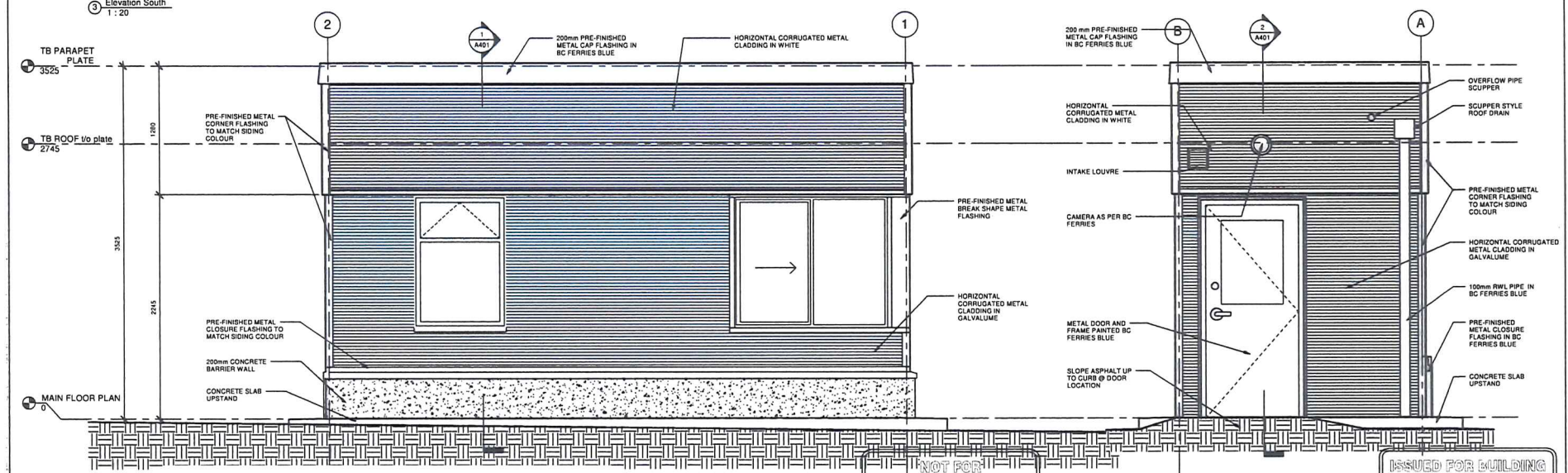
REVISED FOR THE REGISTRATION:	DATE:	BY:	DATE:
CLASS	2013.10.29	KAR	ES
SCALE:	As indicated		

BC Ferries
British Columbia Ferry Services Inc.

NANAIMO HARBOUR
90987
TICKET BOOTH REPLACEMENT
SITE PLAN
31-181-A101



2 Elevation East
1:20



1 Elevation West
1:20

3 Elevation South
1:20

1 Elevation North
1:20

This is Schedule C referred to in the Development Permit.

Director
Community Development
2014-JUN-19
Date

E	CLIENT REVIEW FOR REVISED DESIGN
D	COORDINATION
C	COORDINATION
B	CLIENT REVIEW
A	CLIENT REVIEW
REVISIONS	

NOT FOR CONSTRUCTION

ISSUED FOR BUILDING PERMIT

EROLD ENGINEERING LIMITED
Civil Engineers
Rd. Nanaimo, BC V9T 2H1
8581 Fax: 250-751-8559
engneering.com
NECT #: 0050-095

REVISED FOR USE RECONSTRUCTION	DESIGN BY: KAR
DRAWN BY: KAR	DATE: 2013.10.15
DATE: 2013.10.15	SCALE: 1:20
FILE NO.:	PROJECT: 4184143600

BC Ferries
British Columbia Ferry Services Inc.

NANAIMO HARBOUR	
90987	
TICKET BOOTH REPLACEMENT	
BUILDING ELEVATIONS	31-181-A301

Development Permit DP000880
160 Front Street

Schedule D
Rendering

RECEIVED
MAY 13 2014
CITY OF NANAIMO
COMMUNITY DEVELOPMENT

NANAIMO HARBOUR TERMINAL REPLACEMENT VEHICLE TICKET BOOTH



This is Schedule D referred to in the
Development Permit.


Director
Community Development

2014-JUN-19
Date

**HEROLD
ENGINEERING LIMITED**
Consulting Engineers
3791 Sherten Rd, Nanaimo, BC V9T 2H5
Tel: 250-751-8558 | Fax: 250-751-8553
mail@heroldengineering.com
HEROLD PROJECT # 0050-075

RENDERED FOR: _____
DRAWN BY: KAR _____ CHECKED BY: KAR _____
DATE: 2013.10.29 _____ DATE: ES _____
SCALE: _____ SCALE: 1:1 _____
PAGE NO. OF SHEETS: _____

BC Ferries
British Columbia
Ferry Services Inc.

NANAIMO HARBOUR	
DOCB#1 TICKET BOOTH REPLACEMENT	
RENDERING	Drawing No. 31-181-A002